

East El Paso Regional Park

City of El Paso — City Plan Commission — July 12, 2018

SUSU18-00016 — Major Preliminary

REVISED



STAFF CONTACT: Brenda Cantu, (915) 212-1642, cantubr@elpasotexas.gov

PROPERTY OWNER: City of El Paso

REPRESENTATIVE: Brock & Bustillos, Inc.

LOCATION: South of Montana and East of Rich Beem, District 5

ACREAGE: 92.42

VESTED: No

PARK FEES REQUIRED: N/A

EXCEPTION/MODIFICATION REQUEST: 1. Exception to waive the required DSC standard for Jason Crandall Drive.

RELATED APPLICATIONS: N/A

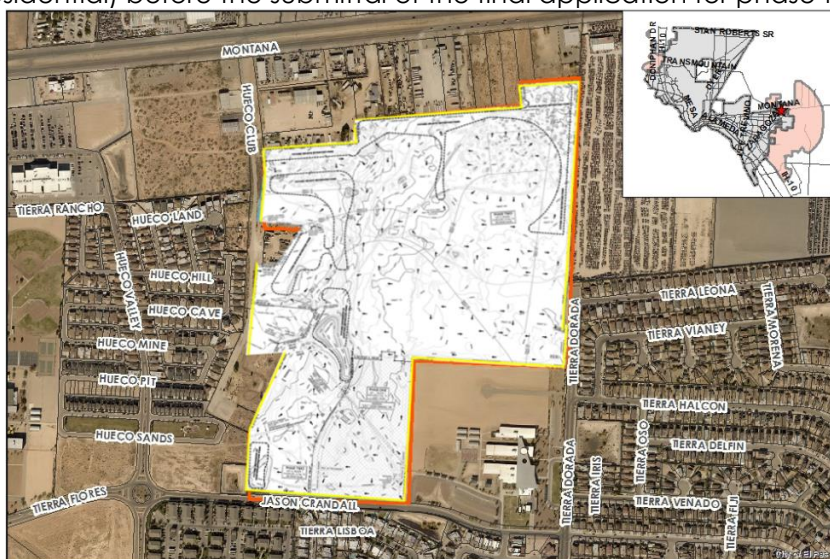
PUBLIC INPUT: N/A

STAFF RECOMMENDATION: Approval with conditions

SUMMARY OF REQUEST: The applicant proposes to subdivide 92.42 acres of land into one park as part of the East El Paso Regional Park. This will be a phased development consisting of three ~~two~~ phases; phase one is scheduled to be complete in January 2020, phase two in February 2020 and phase three in January 2024. The applicant is proposing to realign Tierra Dorada Drive and install their proportionate share of roadway improvements consistent with the Major Thoroughfare Plan and the Design Standards for Construction. Access to the proposed subdivision will be provided via Hueco Club, Tierra Dorada Drive, and Jason Crandall Drive. This development is being reviewed under the current subdivision code.

SUMMARY OF RECOMMENDATION: Planning staff recommends **APPROVAL** of East El Paso Regional Park on a Major Preliminary basis subject to the following condition:

- That the applicant coordinate the improvements for Hueco Club Road with the County of El Paso before the submittal of the final application for phase two.
- That the applicant rezone the portion of S-D (Special development) which lies within phase two to R-5 (Residential) before the submittal of the final application for phase two.



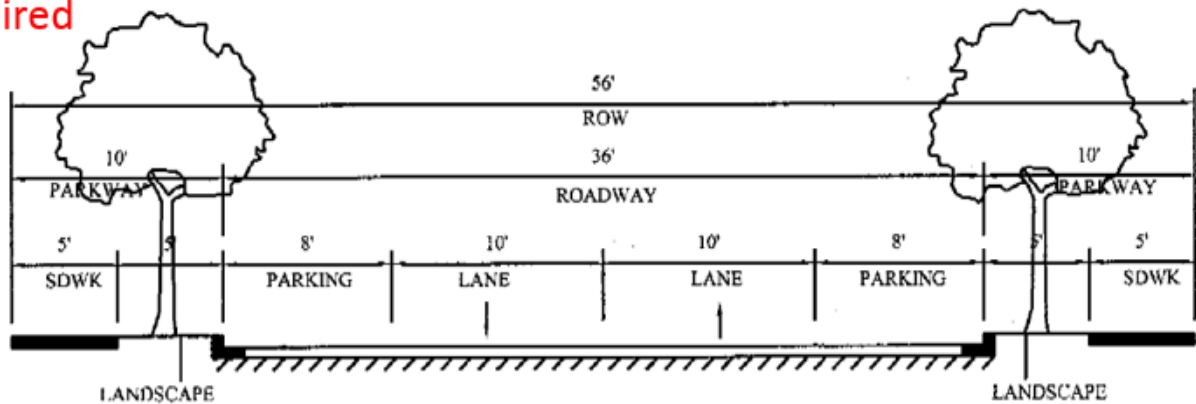
DESCRIPTION OF ANY EXCEPTIONS, MODIFICATIONS, OR WAIVERS

The applicant is requesting the following exception under 19.10.050-A (Roadway participation policies):

- To waive 2' of ROW dedication and 5' sidewalk for Jason Crandall Drive.

Instead, the applicant will be constructing a 3' parkway and an 8' hike and bike within the park property.

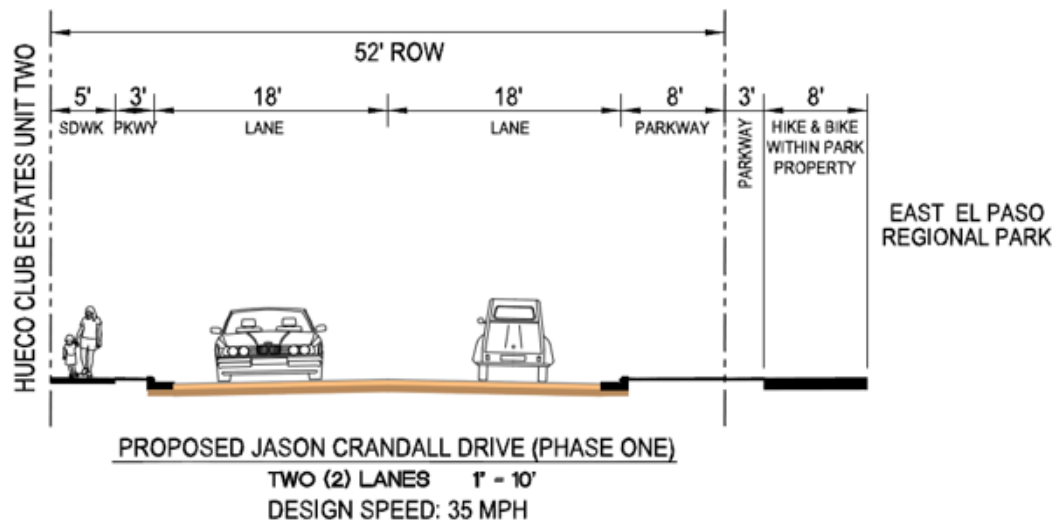
Required



RESIDENTIAL COLLECTOR

CAN BE DESIGNED TO PROVIDE FOR ANGLE PARKING

Proposed



RELATION OF PROPOSED APPLICATION TO THE CITY'S COMPREHENSIVE PLAN

CONSISTENCY WITH PLAN EL PASO: Subject property is designated G4, Suburban (Walkable)

GOAL 2.1:	
The City should change its growth pattern away from continuous outward expansion and toward integrated growth that minimizes environmental damage, reduces the need for excessive travel by private automobile, and can be served by public transportation.	
GOAL 5.11:	
The City of El Paso shall endeavor to permanently preserve open spaces that represent the full range of El Paso County's natural features, including mountains, arroyos, valley, and desert environments, wetlands, and wildlife habitats.	
POLICY	DOES IT COMPLY?
2.1.6: Development is encouraged along existing or planned bicycle networks where additional segments and/or secure bicycle storage can be added to the network.	Yes, the applicant is proposing the extension of bicycle facilities along Jason Crandall Drive.
2.1.9: Development is strongly discouraged within critical arroyos.	Yes, applicant is not developing within arroyos.

NEIGHBORHOOD CHARACTER: Subject property is located within the City of El Paso. Surrounding land uses are residential, apartment and commercial developments. The nearest school is Hurshell Antwine (PK-5) Elementary School (0.24 miles). This property is not located within any Impact Fee Service Area.

COMMENT FROM THE PUBLIC: N/A.

STAFF COMMENTS:

Staff recommends approval with conditions of East El Paso Regional Park.

PLAT EXPIRATION:

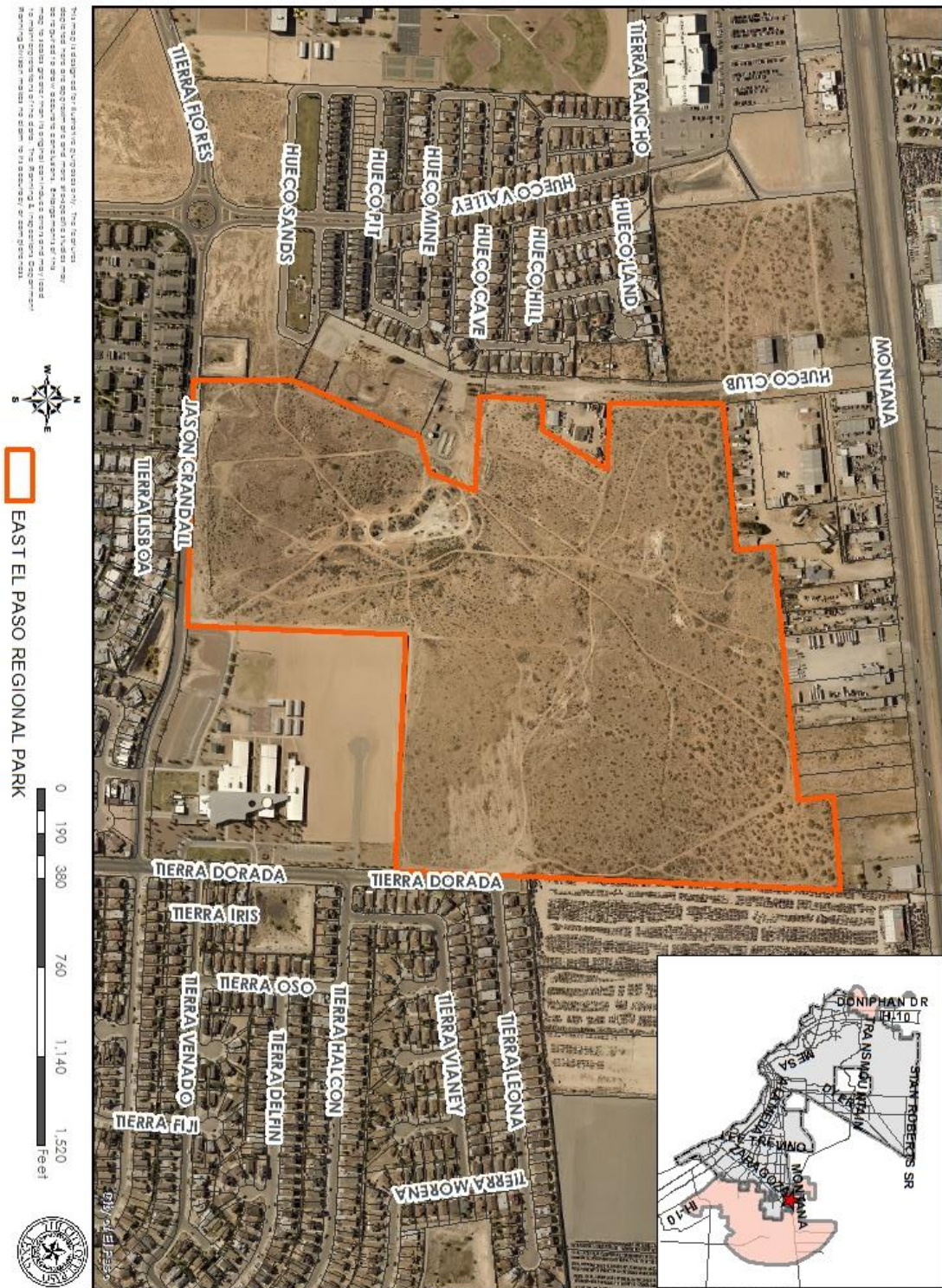
This application will expire on **July 12, 2021**, pursuant to Section 19.03.060 (Expiration). If subdivision improvement plans and a final plat application have not been approved within the specified date, the preliminary plat application, unless extended in accordance with Chapter 19.41 (Expiration, extension and reinstatement), shall expire and the preliminary plat shall be null and void.

ATTACHMENTS:

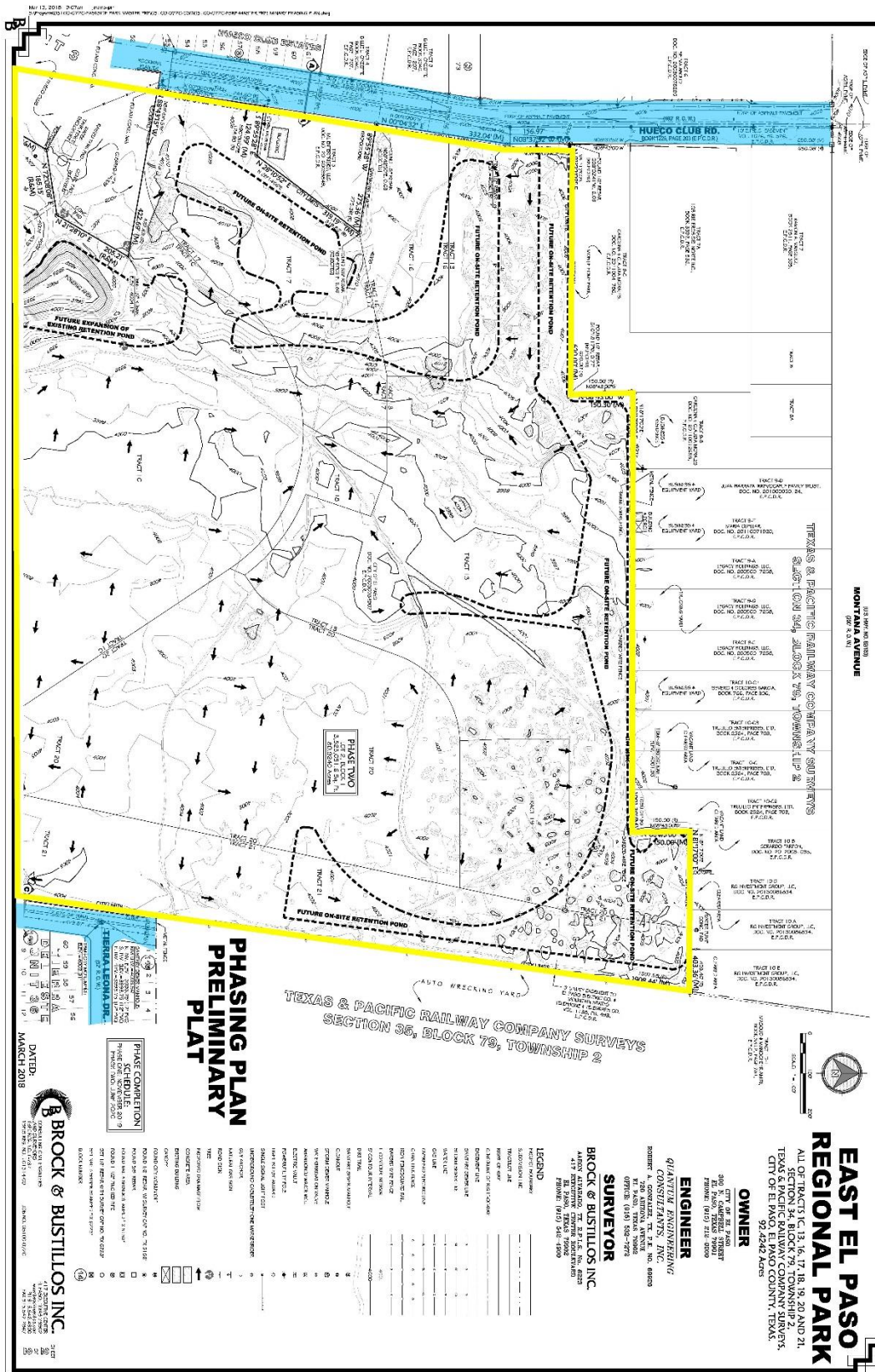
1. Location Map
2. Preliminary Plat
3. Application
4. Exception Request
5. Department Comments

ATTACHMENT 1

EAST EL PASO REGIONAL PARK



ATTACHMENT 2



ATTACHMENT 3



CITY PLAN COMMISSION APPLICATION FOR MAJOR PRELIMINARY SUBDIVISION APPROVAL

DATE: 03/13/2018

FILE NO. SUSU18-00016

SUBDIVISION NAME: Eastside Regional Park "Phasing Plan"

1. Legal description for the area included on this plat (Tract, Block, Grant, etc.)
Tracts 1C, 13, 16, 17, 18, 19, 20 and 21, Section 34, Block 79, Township 2, Texas and Pacific Railway Company Surveys

2. Property Land Uses:

	ACRES	SITES		ACRES	SITES
Single-family	_____	_____	Office	_____	_____
Duplex	_____	_____	Street & Alley	_____	_____
Apartment	_____	_____	Ponding & Drainage	_____	_____
Mobile Home	_____	_____	Institutional	_____	_____
P.U.D.	_____	_____	Other (specify below)	_____	_____
Park	<u>92.4242</u>	<u>2</u>	_____	_____	_____
School	_____	_____	_____	_____	_____
Commercial	_____	_____	Total No. Sites	_____	<u>2</u>
Industrial	_____	_____	Total (Gross) Acreage	<u>92.4242</u>	_____

3. What is existing zoning of the above described property? R5/SD Proposed zoning? R5/SD

4. Will the residential sites, as proposed, permit development in full compliance with all zoning requirements of the existing residential zone(s)? Yes X No _____

5. What type of utility easements are proposed: Underground _____ Overhead _____ Combination of Both X

6. What type of drainage is proposed? (If applicable, list more than one)
Sheet flow and on-site ponding

7. Are special public improvements proposed in connection with development? Yes _____ No X

8. Is a modification or exception of any portion of the Subdivision Ordinance proposed? Yes _____ No X
If answer is "Yes", please explain the nature of the modification or exception _____

9. Remarks and/or explanation of special circumstances: Vicinity map scale drawn to 1" = 1,000' to show surrounding streets

10. Improvement Plans submitted? Yes _____ No X

11. Will the proposed subdivision require the city to review and decide whether this application is subject to the standards in effect prior to the effective date of the current applicable standards? Yes X No X V.O.

If yes, please submit a vested rights petition in accordance with Title I (General Provisions) Chapter 1.04 - Vested Rights

City Development Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

12. Owner of record City of El Paso 218 N. Campbell, Second Floor, El Paso, TX 79901 (915) 212-1817.
(Name & Address) (Zip) (Phone)
13. Developer City of El Paso 218 N. Campbell, Second Floor, El Paso, TX 79901 (915) 212-1817.
(Name & Address) (Zip) (Phone)
14. Engineer Brock & Bustillos Inc. 417 Executive Center Blvd., El Paso, TX 79902 (915) 542-4800.
(Name & Address) (Zip) (Phone)

**Effective September 1, 2014, a 3%
Technology fee has been added to all
Planning application fees.*

OWNER SIGNATURE: _____

REPRESENTATIVE: _____

NOTE: SUBMITTAL OF AN APPLICATION DOES NOT CONSTITUTE ACCEPTANCE FOR PROCESSING UNTIL THE PLANNING DEPARTMENT REVIEWS THE APPLICATION FOR ACCURACY AND COMPLETENESS.

City Development Department
811 Texas | P.O. Box 1890 | El Paso, Texas 79950-1890 | (915) 212-0085

ATTACHMENT 4



ROMAN BUSTILLOS, P.E.
President

RANDY P. BROCK, P.E.
Executive Vice President

SERGIO J. ADAME, P.E.
Vice President - Engineering

AARON ALVARADO, R.P.L.S.
Vice President - Surveying

ISAAC CAMACHO, R.P.L.S.
Survey Manager

TBPE Reg. No. F-737
TBPLS Reg. No. 101314-00

July 11, 2018

City of El Paso
Planning and Inspections
801 Texas Avenue
El Paso, Texas 79901

Attn: Nelson Ortiz, Lead Planner
Planning and Inspections

Re: East El Paso Regional Park, City of El Paso, El Paso County, Texas.

Dear Mr. Ortiz:

Brock and Bustillos, Inc. is requesting an exception in accordance with Section 19.10.050.A.1.a; not to dedicate 2 feet of additional right-of-way to meet the proportionate share requirements for Jason Crandall Drive right-of-way and not to construct a 5 feet sidewalk within the existing Jason Crandall Drive right-of-way. The developer is proposing an 8 feet hike and bike path and a 3 feet parkway within the park site. This addition will increase the parkway/buffer from 8 feet to a total of 11 feet.

Please contact me if you have any questions or need more information concerning this exception request to East El Paso Regional Park.

Sincerely,

Aaron Alvarado, TX RPLS No. 6223
Vice President Surveying

05100-072C-JASON CRANDALL-EXCEPTION REQUEST.doc

ATTACHMENT 5

PLANNING AND INSPECTION DEPARTMENT – PLANNING:

Developer/Engineer shall address the following comments:

- Submit to the Planning & Inspections Department – Planning Division the following prior to recording of the subdivision:
 - a: Current certificate tax certificate(s)
 - b: Current proof of ownership.
 - c: Release of access document, if applicable.
 - d: Set of restrictive covenants, if applicable.
- Every subdivision shall provide for postal delivery service. The subdivider shall coordinate the installation and construction with the United States Postal Service in determining the type of delivery service for the proposed subdivision. In all cases, the type and location of delivery service shall be subject to the approval of the United States Postal Service.
- All proposed vacated easements through separate instrument need to be vacated before final plat recordation.

PLANNING AND INSPECTION DEPARTMENT – LAND DEVELOPMENT:

No objections to proposed plat.

CAPITAL IMPROVEMENTS DEPARTMENT – PARKS:

We have reviewed East El Paso Regional Park, a major preliminary plat map and on behalf of CID Parks Planning Division we offer Developer / Engineer the following comments:

Please note that this subdivision is composed of one (1) 92.4241 acre parcel of land zoned R-5 which proposed use is for a "future" Regional Park site which under the Municipal Code definitions is considered a "Public facility" therefore, meets the requirements to be excluded from the calculation for parkland dedication ordinance Title 19 – Subdivision & Development Plats, Chapter 19.20 Parks and Open Space as noted below:

19.20.060 - Exclusions from Dedication Requirements.

Exclusions. The following shall be excluded from the calculation for parkland dedication. In all instances, the burden of proof shall be on the subdivider to demonstrate that the plat meets the requirements of this chapter:

H. Land shown within a subdivision, whether residential or nonresidential, which is designated for use as a "Public facility".

CAPITAL IMPROVEMENTS DEPARTMENT:

The entire right-of-way for the extension of Tierra Dorado should be dedicated within the Eastside Regional Park Subdivision. The City does not need to improve the entire ROW but maybe only half and defer improvements on the other half until later.

CENTRAL APPRAISAL DISTRICT:

No objections.

COUNTY OF EL PASO:

Coordination pending.

EL PASO WATER:

Applicant is to coordinate with EPWater the alignment and width of the proposed PSB easement.

The 25-foot PSB easements shall be shown along the entire length of the plat for the extension of the future public mains.

Water:

There is an existing 12-inch diameter water main that extends along the east side of Tierra Dorada Dr. Approximately 25 feet west of and parallel to the eastern right-of-way line of Tierra Dorada Dr. This main is available for service.

There is an existing 8-inch diameter water main that extends along the north side of Jason Crandall Dr. Approximately 18 feet south of and parallel to the northern right-of-way line of Jason Crandall Dr. This main is available for service.

There is an existing 8-inch diameter water main that extends along east side of Hueco Valley St. Approximately 25 feet west of and parallel to the eastern right-of-way line of Hueco Valley St. There is also an existing 8-inch diameter water main that extends along the north side of Hueco Sands Cr. Approximately 11 feet south of and parallel to the northern right-of-way line of Hueco Sands Cr. The main then extends north following the street alignment, located approximately 11 feet west of the right-of-way line of Hueco Sand Cr. These mains are available for service.

There is an existing 24-inch diameter water transmission main that extends along Montana Ave. The main is located approximately 12 feet south of the street's northernmost right-of-way line. No direct service connections are allowed to this main as per the El Paso Water Utilities – Public Service Board (EPWU-PSB) Rules and Regulations.

Sanitary Sewer:

There is an existing 12-inch diameter sanitary sewer main that extends along Tierra Dorada Dr. Approximately 5 feet west of the street centerline. This main is available for service.

There is an existing 8-inch diameter sanitary sewer main that extends along the south side of Jason Crandall Dr. located approximately 5 feet south of the street centerline. This main is available for service.

There is an existing 8-inch diameter sanitary sewer main that extends along the west side of Hueco Valley St. Approximately 35 feet east of and parallel to the western right-of-way line of Hueco Valley St. There is also an existing 8-inch diameter sanitary sewer main that extends along the south side of Hueco Sands Cr. Approximately 14 feet north of and parallel to the southern right-of-way of Hueco Sand Cr. The sanitary sewer main then extends north following the street alignment, located approximately 5 feet east of the street centerline. These mains are available for service.

General:

If the site plan for the park requires water main extension. The water mains shall be extended creating a looped system.

Annexation fees are due for properties that have an annexation agreement at the time of new service application for individual water meters within the subject property.

EPWU requires a new service application to provide service to the subject property. New service applications are available at 1154 Hawkins, 3rd Floor. The following items if applicable are

required at the time of application: (1) hard copy of subdivision plat; (2) finalized set of improvement plans, including grading and drainage; (3) digital copy of subdivision plat; (4) benchmark check; and (5) construction schedule. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The owner is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.